

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)

Building address 114 W. 4TH ST.

Owner of building Wesley Jay (Mrs + Mrs.) Robyn Reshetar

Owner's email & mailing address 114 W. 4TH ST., BETHLEHEM, PA.

Applicant ROBYN RESHETAR Phone: [REDACTED]

Applicant's email & mailing address [REDACTED]

Street and Number

APPLICANT MUST ATTEND MEETING FOR CASE TO BE HEARD.

USE THE CHECKLIST ON THE BACK OF THIS APPLICATION TO ENSURE YOUR SUBMISSION IS COMPLETE.

Historic & Architectural Review Board - Application form, photographs, and drawings must be submitted by 12:00 Noon on the last Wednesday of the month in order to be placed on the agenda for the next meeting.

South Bethlehem & Mount Airy Historic Conservation Commission - Application form, photographs, and drawings must be submitted by 12:00 noon on the second Monday of the month in order to be placed on the agenda for the next meeting.

1. PHOTOGRAPHS - Photographs of your building and neighboring buildings must accompany your application.

2. TYPE OF WORK PROPOSED - Check all that apply. Please bring any samples or manufactures specifications for products you will use in this project.

- Trim and decorative woodwork
- Siding and Masonry
- Roofing, gutter and downspout
- Windows, doors, and associated hardware
- Storm windows and storm doors
- Shutters and associated hardware
- Paint (Submit color chips - HARB only)
- Skylights
- Metal work
- Light fixtures
- Signs
- Demolition
- Other SEE LIST OF PROPOSED RENOVATED WORK.

3. DRAWINGS OF PROPOSED WORK - Required drawings must accompany your application. Please submit ONE ORIGINAL AND TEN (10) COPIES OF DRAWINGS, PHOTOGRAPHS, APPLICATION FORM, AND ANY SPECIFICATIONS

- Alteration, renovation, restoration (1/4 or 1/8"=1'0" scale drawings required IF walls or openings altered.)
- New addition (1/4" or 1/8"=1'0" scale drawings: elevations, floor plans, site plan)
- New building or structure (1/4" or 1/8"=1'0" scale drawings: elevations, floor plans, site plan)
- Demolition, removal of building features or building (1/4" or 1/8"=1'0" scale drawings: elevation of remaining site and site plan) SEE PROJECT HISTORY IN SUBMISSIONS.
- A scale drawing, with an elevation view, is required for all sign submittals

4. DESCRIBE PROJECT - Describe any work checked in #2 and #3 above. Attach additional sheets as needed.
PROPOSE 6 NEW TOWN HOUSES IN REAR LOT.
SEE PROJECT OVERVIEW & DRAWINGS ATTACHED TO THE SUBMIT APPLICATION

5. APPLICANT'S SIGNATURE [Signature] DATE: APRIL 10, 2018

PROJECT OVERVIEW for THE PRESIDENT'S PLACE

114 W. 4th St. & 610 Martel St., Bethlehem, PA. *Updated: March 12, 2018*

CONTEXT:

This urban infill project encompasses the renovation of the former Grace home and the construction of 6-new town homes clustered around a courtyard at the rear of the property. The proposed town homes will be 3-story in height, there is no indoor living space above the 3rd floor. The adjacent towns have 3-floors of living. The 6-story Brodhead House which provides University based dormitories fronts on W.Morton St. The height of the Brodhead across from the new towns is approximately +64 feet. The Bible Study Church tower stands on the west side of the mansion and is approximately +70' in height. The new cornice along Martel shall be approx: 29 feet.

NEW ELEMENTS:

This revised submission offers a lower profile cluster of housing in keeping with its immediate surroundings. Here are some statistics:

1. Reduced from 4-story single building to 3-story town homes (6)
2. Provides a 3'-0" setback from Martel Street.
3. Provides an increase in the setback from the rear of the mansion, from 5'-0" to 8'-0".
4. The courtyard is on axis with the South, allowing daylight to reach the rear of the mansion and fill the new homes with light.
5. The three new facades facing Martel street reflect more of the character of the adjacent existing town homes.
6. The main facades facing Martel & the mansion shall brick veneer up to the roof level. See attached plans. Gable ends shall stained hardi-board.

EXTERIOR COMPONENTS:

It is our intention to create a new green space between the church and president's house, surrounded by a low garden wall. This space will be an aesthetic improvement and allow for the church and mansion to appear more pure in character as they once were. The church group has asked if they could use the garden space on Sunday after their service, we concurred to do so. By demolishing this western most addition we shall return it to "Green Space" as a garden area.

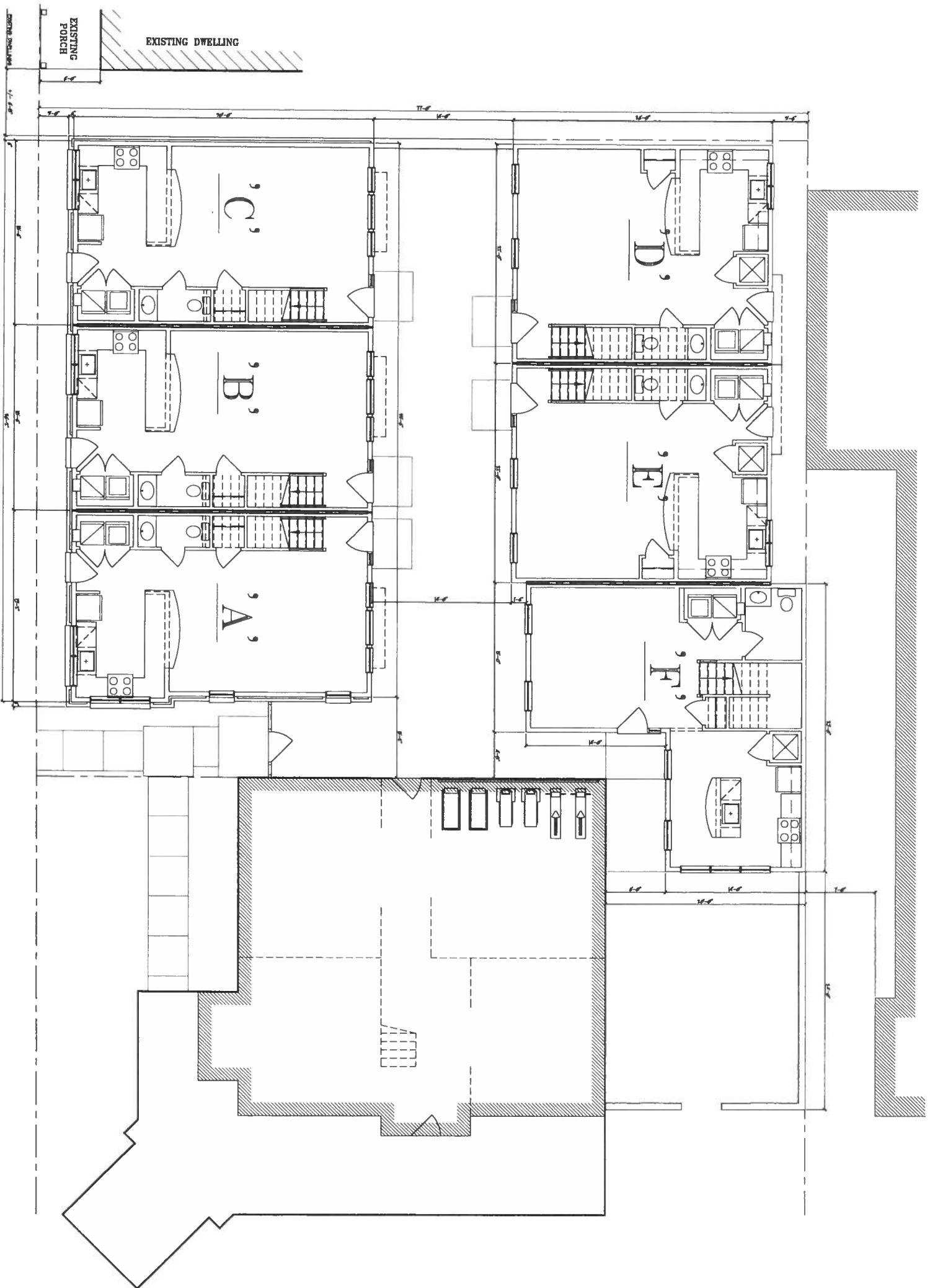
The East and North facing facades shall be a brick veneer with brick or stone headers in complimentary colors. The other exterior walls shall be of a traditional stucco application and with accents of Hardiboard. The courtyard facades are not visible from 4th Street. The sidewalk along Martel shall be replaced with new a new brick walkway that will carry into the courtyard. Both the courtyard and garden shall be professionally landscaped. We plan to present color renderings of the proposed concepts at the April HCC meeting.

Thank you,

Robin Reshetar, AIA







FIRST FLOOR
PLAN

PROPOSED FIRST FLOOR PLAN

scale: $\frac{3}{16}$ " = 1'-0"

REVISIONS
DATE: 4/16/2018

RESHETAR GROUP
ROBIN RESHETAR, AIA



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Proposed Luxury Apartments at
President's Place
114 West Fourth Street
City of Bethlehem, Pennsylvania

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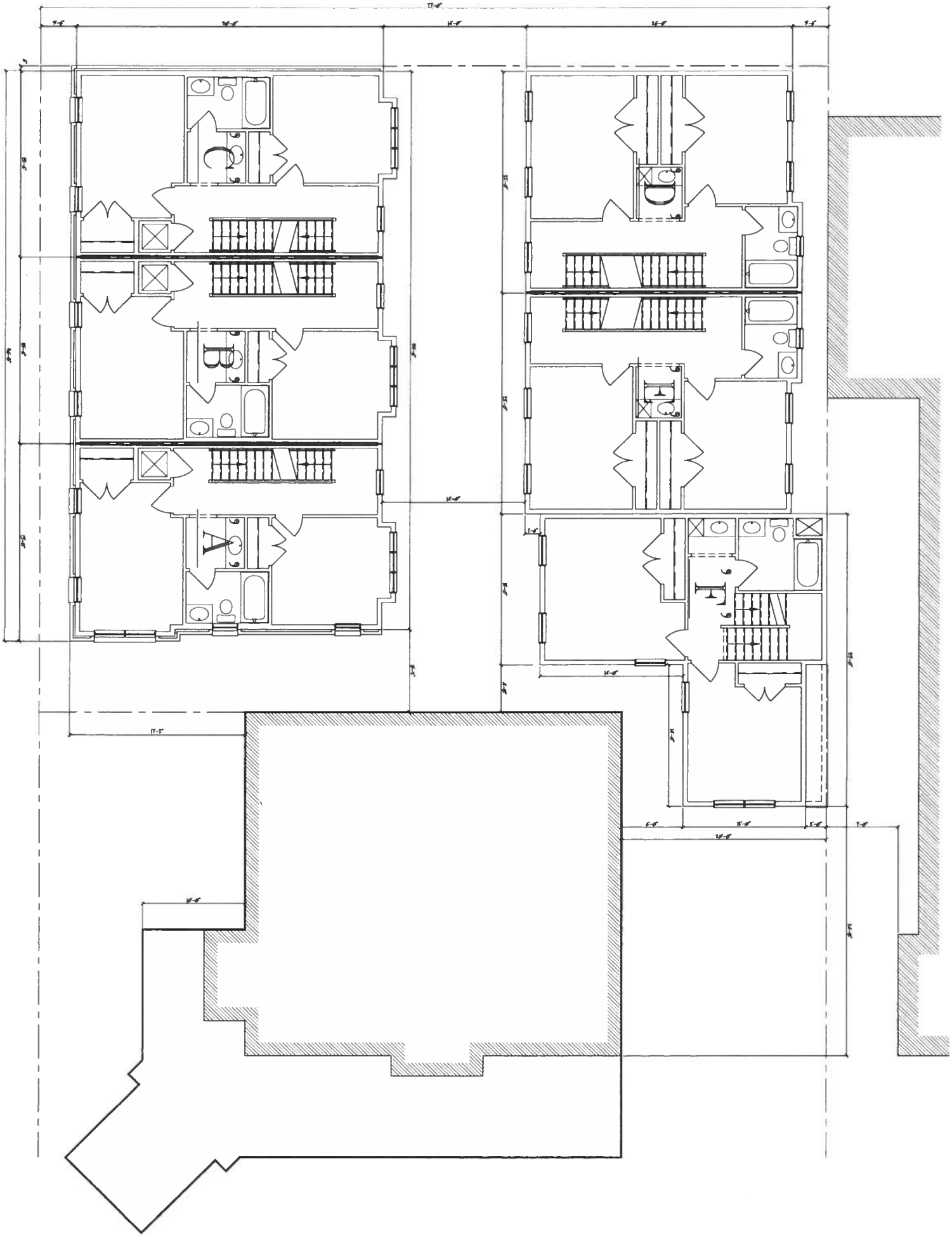
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Revision/Issue
03/20/18 PRELIMINARY DESIGN
04/02/18 PRELIMINARY REVISED
04/09/18 ELEVATIONS REVISED

DATE: MARCH 3, 2018
SCALE: AS NOTED
DRAWN BY: DTS

PROPOSED TOWNHOMES
FIRST FLOOR PLAN

PD-2.1



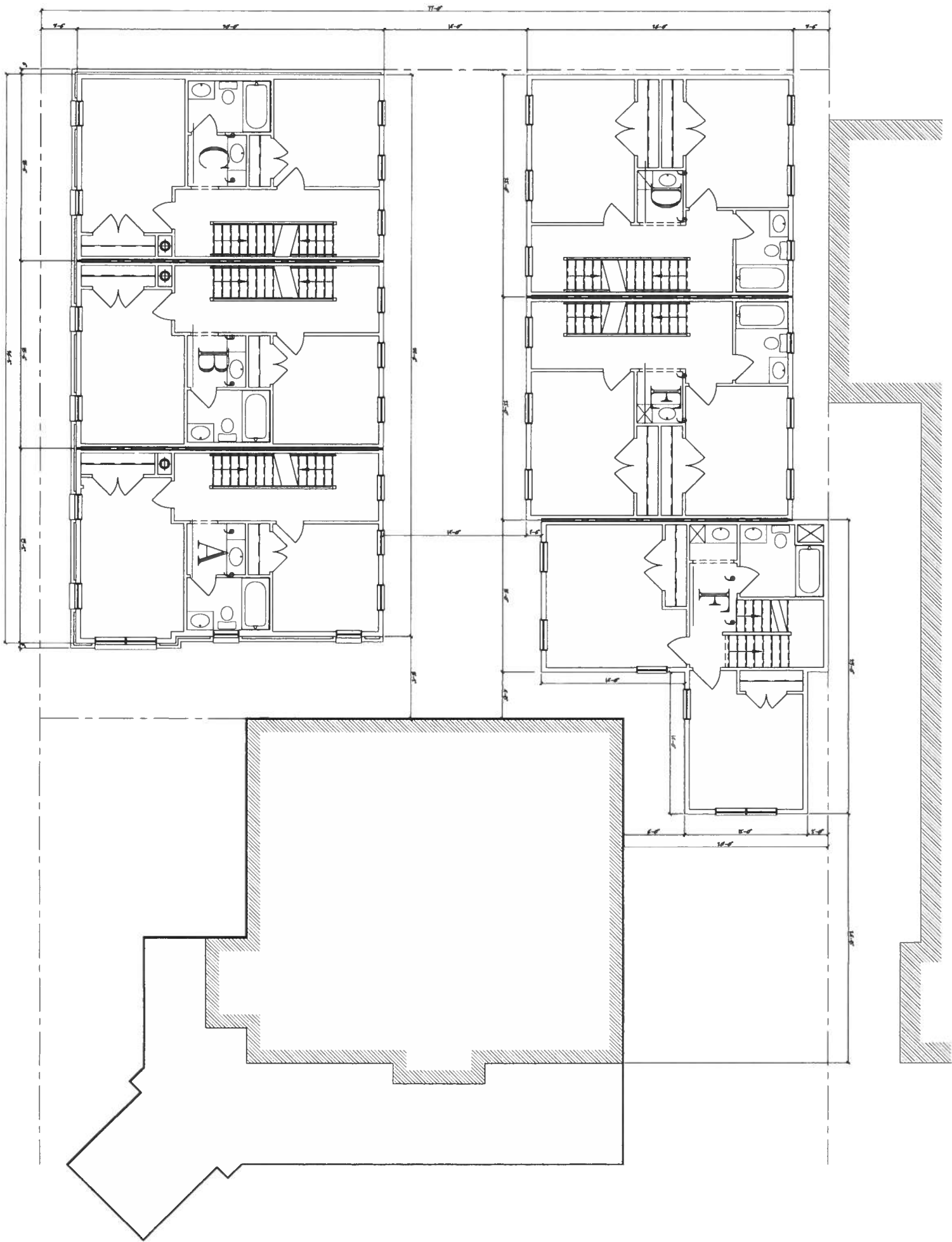
SECOND FLOOR
PLAN

PROPOSED SECOND FLOOR PLAN

scale: $\frac{3}{16}$ " = 1'-0"

ELEVATION REVISIONS
DATE: 4/6/2018

<p>PD-2.2</p>	<p>PROPOSED BUILDING FLOOR PLANS</p>	<p>DATE: MARCH 3, 2018 SCALE: AS NOTED DRAWN BY: DTS JOB NUMBER:</p>	<p>Revised/Issued 03/02/18 PRELIMINARY DESIGN 04/02/18 PRELIMINARY REVISED 04/02/18 ELEVATIONS REVISED</p>	<p>© 2018 This plan is the property of Robin Reshetar, Architect. No part of this drawing may be reproduced or forwarded in any form or by any electronic or mechanical means without the written consent of Robin Reshetar.</p>	<p>Proposed Luxury Apartments at President's Place 114 West Fourth Street City of Bethlehem, Pennsylvania</p>	<p>PROJECT NAME AND ADDRESS:</p>	<p>RESHETAR GROUP ROBIN RESHETAR, AIA Design - Build - Develop www.ReshetarGroup.com rarchitect@comcast.net PA: 215-783-1891 TX: 512-774-8100 Innovation in Solar & Green Concepts since 1980</p>
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THIRD FLOOR
PLAN

PROPOSED THIRD FLOOR PLAN

scale: $\frac{3}{16}$ " = 1'-0"

ELEVATION REVISIONS
DATE: 4/16/2018

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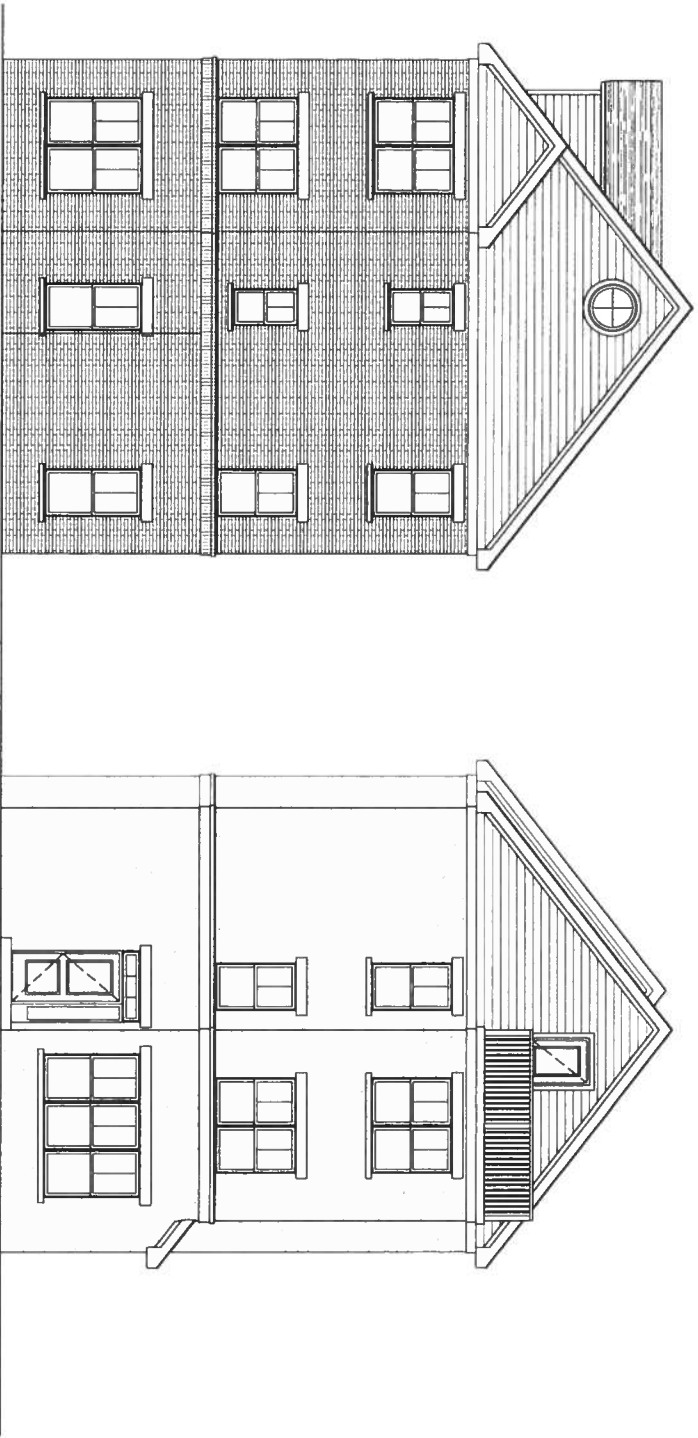
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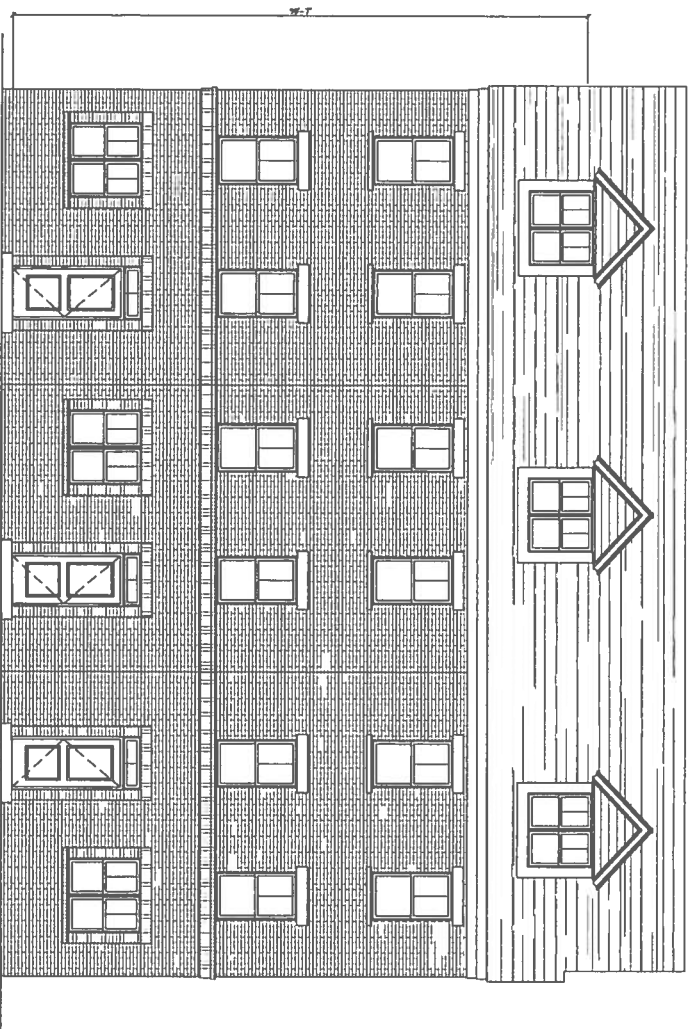
Revision/Date
03/28/18 PRELIMINARY DESIGN
04/22/18 PRELIMINARY REVISED
04/09/18 ELEVATIONS REVISED

DATE: MARCH 3, 2018
SCALE: AS NOTED
DRAWN BY: DTS
JOB NUMBER:
PROPOSED BUILDING
FLOOR PLANS

PD-2.3



FOURTH ST. ELEVATION



MARTEL ST. ELEVATION

PROPOSED BUILDING ELEVATIONS

scale: $\frac{3}{16}$ " = 1'-0"

ELEVATION REVISIONS
DATE: 4/6/2018

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Proposed Luxury Apartments at
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Revised/Issue
DATE/ISSUE: PRELIMINARY DESIGN
DATE/ISSUE: PRELIMINARY REVISED
DATE/ISSUE: ELEVATIONS REISED

DATE: MARCH 3, 2018
SCALE: AS NOTED
DRAWN BY: DTS
2018.03.08

PROPOSED BUILDING ELEVATIONS

PD-3